



Comhairle Contae Chill Mhantáin
Wicklow County Council

Pleanáil, Forbairt Eacnamaíochta agus Tuaithe
Planning, Economic and Rural Development

Áras An Chontae / County Buildings
Cill Mhantáin / Wicklow
Guthán / Tel (0404) 20148
Faics / Fax (0404) 69462
Rphost / Email plandev@wicklowcoco.ie
Suíomh / Website www.wicklow.ie

Simon Martin

SM
14th Of May 2026

RE: Declaration in accordance with Section 5 of the Planning & Development Acts
2000 (As Amended) -EX56/2026

A Chara,

I enclose herewith Declaration in accordance with Article 5 (2) (A) of the Planning &
Development Act 2000.

Where a Declaration is used under this Section any person issued with a Declaration under
subsection (2) (a) may, on payment to An Coimisiún Pleanála of such fee as may be
prescribed, refer a declaration for review by the Coimisiún within four weeks of the date of
the issuing of the declaration by the Local Authority.

Is mise, le meas,

Drada Nemy
ADMINISTRATIVE OFFICER
PLANNING DEVELOPMENT & ENVIRONMENT.





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DECLARATION IN ACCORDANCE WITH ARTICLE 5 (2) (A) OF THE PLANNING &
DEVELOPMENT ACT 2000 AS AMENDED

Applicant: Simon Martin

Location: Drummin, Annamore, Co. Wicklow

Reference Number: EX 56/2026
CHIEF EXECUTIVE ORDER NO. CE/PERD/2026/560

A question has arisen as to whether "the construction of 292sqm agricultural shed" at Drummin, Annamore, Co. Wicklow is or is not exempted development.

Having regard to:

- The details submitted with the Section 5 Declaration, and site visit.
- Planning Permission Register Reference PRR 11/4505, and PRR 78/3261
- Wicklow County Development Plan 2022-2028; Landscape Designation Area of Outstanding Natural Beauty; Listed Prospect 25.
- Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended).
- Article 6, 9 Schedule 2, Part 3, Class 6, of the Planning and Development Regulations 2001 (as amended).
- Definition of watercourse under EU (Good Agricultural Practice for Protection of Waters) Regulations 2025.

Main Reasons with respect to Section 5 Declaration:

- The construction of an Agricultural Shed involves operations of construction and would therefore be works having regard to Section 2 of the Planning and Development Act 2000 (as amended).
- These works would come within the definition of development as set out in Section 3(1)(a) of the Planning and Development Act 2000 (as amended).
- The Agricultural Shed would come within the description set out in Class 6: Part 3; Schedule 2 of the Planning and Development Regulations 2001 (as amended), however it would not meet all the limitations thereunder as
 - No details have been submitted to confirm compliance with Limitation No. 3
 - It is not evident that Limitation No. 8 would be met, as from review of PRR 78/3253 there is a water supply from a spring on lands to the northwest of the proposed Agricultural Shed which serves an existing dwelling. It therefore cannot be confirmed that the structure would not be within 60m of a private water source.
 - Limitation No. 9 would not be met as the structure would be located within 20-30m of a land drain which is considered to come within the definition of "watercourse" under S.I. 588 of 2025 - EU (Good Agricultural Practice for Protection of Waters) Regulations 2025.

The Planning Authority considers that "the construction of 292sqm agricultural shed" at Drummin, Annamore, Co. Wicklow is development and is NOT exempted development.

Signed:


ADMINISTRATIVE OFFICER
PLANNING DEVELOPMENT & ENVIRONMENT

Date:

14/05/2026



WICKLOW COUNTY COUNCIL
PLANNING & DEVELOPMENT ACTS 2000 (As Amended)
SECTION 5

CHIEF EXECUTIVE ORDER NO. CE/PERD/2026/560

Reference Number: EX 56/2026

Name of Applicant: Simon Martin

Nature of Application: Section 5 Referral as to whether "*the construction of 292sqm agricultural shed*" is or is not development and is or is not exempted development.

Location of Subject Site: Drummin, Annamore, Co. Wicklow

Report from Edel Bermingham, T/SP

With respect to the query under Section 5 of the Planning & Development Act 2000 as to whether "*the construction of 292sqm agricultural shed*" at Drummin, Annamore, Co. Wicklow is or is not exempted development within the meaning of the Planning & Development Act 2000 (as amended)

Having regard to:

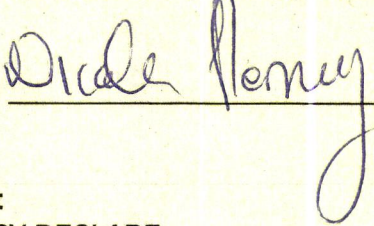
- a) The details submitted with the Section 5 Declaration, and site visit.
- b) Planning Permission Register Reference PRR 11/4505, and PRR 78/3261
- c) Wicklow County Development Plan 2022-2028; Landscape Designation Area of Outstanding Natural Beauty; Listed Prospect 25.
- d) Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended).
- e) Article 6, 9 Schedule 2, Part 3, Class 6, of the Planning and Development Regulations 2001 (as amended).
- f) Definition of watercourse under EU (Good Agricultural Practice for Protection of Waters) Regulations 2025.

Main Reasons with respect to Section 5 Declaration:

- i. The construction of an Agricultural Shed involves operations of construction and would therefore be works having regard to Section 2 of the Planning and Development Act 2000 (as amended).
- ii. These works would come within the definition of development as set out in Section 3(1)(a) of the Planning and Development Act 2000(as amended).
- iii. The Agricultural Shed would come within the description set out in Class 6: Part 3; Schedule 2 of the Planning and Development Regulations 2001(as amended), however it would not meet all the limitations thereunder as
 - (a) No details have been submitted to confirm compliance with Limitation No. 3
 - (b) It is not evident that Limitation No. 8 would be met, as from review of PRR 78/3253 there is a water supply from a spring on lands to the northwest of the proposed Agricultural Shed which serves an existing dwelling. It therefore cannot be confirmed that the structure would not be within 60m of a private water source.
 - (c) Limitation No. 9 would not be met as the structure would be located within 20-30m of a land drain which is considered to come within the definition of "watercourse" under S.I. 588 of 2025 - EU (Good Agricultural Practice for Protection of Waters) Regulations 2025.

Recommendation

The Planning Authority considers that "the construction of 292sqm agricultural shed" at Drummin, Annamore, Co. Wicklow is development and is NOT exempted development as recommended in the planning reports.


Signed: 

Date: 13/05/2026

ORDER:

I HEREBY DECLARE:

THAT "the construction of 292sqm agricultural shed" at Drummin, Annamore, Co. Wicklow is development and is NOT exempted development within the meaning of the Planning & Development Acts 2000 (as amended).

Signed: 

T/Senior Planner
Planning, Economic & Rural Development

Date: 14/5/2020

Section 5 Application : EX 56/2026

Date : 12/5/2026

Site Visit : 29th April 2026

Applicant : Simon Martin

Address : Drummin, Annamoe, Co. Wicklow

Exemption Whether or not :

Erection of 292 sqm Agricultural Shed

constitutes exempted development within the meaning of the Planning and Development Acts, 2000(as amended).

County Development Plan 2022-2028

Landscape Designation : Area of Outstanding Natural Beauty – The Mountain Uplands
Prospect 25 – L1059 from Oldbridge to Laragh : Mountainous and forested prospect in a westerly and southerly direction.

CPO 18.12 To protect and facilitate The Wicklow Way and St. Kevin's Way as permissive waymarked routes in the County. The Council shall work in partnership with relevant stakeholders in relation to management of these routes, and will protect them from inappropriate development, which would negatively infringe upon their use.

Wicklow Wetland Survey : Wicklow Mountains SAC/ SPA

Natura 2000 Sites

Wicklow Mountains SAC

Qualifying Interests

Oligotrophic waters containing very few minerals of sandy plains (*Littorelletalia uniflorae*) [3110]

Natural dystrophic lakes and ponds [3160]

Northern Atlantic wet heaths with *Erica tetralix* [4010]

European dry heaths [4030]

Alpine and Boreal heaths [4060]

Calaminarian grasslands of the *Violetalia calaminariae* [6130]

Species-rich *Nardus* grasslands, on siliceous substrates in mountain areas (and submountain areas, in Continental Europe) [6230]

Blanket bogs (* if active bog) [7130]

Siliceous scree of the montane to snow levels (*Androsacetalia alpinae* and *Galeopsietalia ladani*) [8110]

Calcareous rocky slopes with chasmophytic vegetation [8210]

Siliceous rocky slopes with chasmophytic vegetation [8220]

Old sessile oak woods with *Ilex* and *Blechnum* in the British Isles [91A0]

Lutra lutra (Otter) [1355]

Wicklow Mountains SPA

Qualifying Interests

Merlin (*Falco columbarius*) [A098]

Peregrine (*Falco peregrinus*) [A103]

Planning History

11/4505 Permission granted for a 292sqm barn with hard stand area to barn, revise existing agricultural entrance and site ancillary works at Drummin, Annamoe, Co. Wicklow.

Relevant Legislation

Planning and Development Act 2000 (as amended)

Section 2 of the Planning and Development Act 2000:

"agriculture" – includes horticulture, fruit growing, seed growing, dairy farming, the breeding and keeping of livestock (including any creature kept for the production of food, wool, skins, or fur, or for the purpose of its use in the farming of land), the training of horses and the rearing of bloodstock, the use of land as grazing land, meadow land, osier land, market gardens and nursery grounds and "agricultural" shall be construed accordingly.

"works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3 :

3.—(1) In this Act, except where the context otherwise requires, "development" means—

- (a) the carrying out of any works in, on, over or under land, or the making of any material change in the use of any land or structures situated on land, or

Section 4(2) provides that the Minister may by regulations provide any class of development to be exempted development. The Regulations which are applicable in this case are the Planning and Development Regulations 2001 (as amended).

(2) (a) The Minister may by regulations provide for any class of development to be exempted development for the purposes of this Act

(4) Notwithstanding paragraphs (a), (i), (ia) and (l) of subsection (1) and any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.

Planning and Development Regulations 2001(as amended).

Article 6

(3) Subject to article 9, in areas other than a city, a town or an area specified in section 19(1)(b) of the Act or the excluded areas as defined in section 9 of the Local Government (Reorganisation) Act, 1985 (No. 7 of 1985), development of a class specified in column 1 of Part 3 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 3 opposite the mention of that class in the said column 1.

Article 9(1) Note see Regulations for full Article

Development to which article 6 relates shall not be exempted development for the purposes of the Act—

- (a) if the carrying out of such development would—
 - (ii) consist of or comprise the formation, laying out or material widening of a means of access to a public road the surfaced carriageway of which exceeds 4 metres in width,
 - (iii) endanger public safety by reason of traffic hazard or obstruction of road users
 - (vi) interfere with the character of a landscape, or a view or prospect of special amenity value or special interest,
 - (viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,
 - (viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,

Schedule 2 : Part 3

CLASS 6

Works consisting of the provision of a roofed structure for the housing of cattle, sheep, goats, donkeys, horses, deer or rabbits, having a gross floor space not exceeding 300 square metres (whether or not by extension of an existing structure), and any ancillary provision for effluent storage.

1. No such structure shall be used for any purpose other than the purpose of agriculture.
2. The gross floor space of such structure together with any other such structures situated within the same farmyard complex or within 100 metres of that complex shall not exceed 450 square metres gross floor space in aggregate.

3. Effluent storage facilities adequate to serve the structure having regard to its size, use and location shall be constructed in line with Department of Agriculture, Food and Rural Development and Department of the Environment and Local Government requirements and shall have regard to the need to avoid water pollution.
4. No such structure shall be situated, and no effluent from such structure shall be stored, within 10 metres of any public road.
5. No such structure within 100 metres of any public road shall exceed 8 metres in height.
6. No such structure shall be situated, and no effluent from such structure shall be stored, within 100 metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof.
7. No such structure shall be constructed within a flood zone identified in statutory land use plans as Flood Zone A or Flood Zone B or where the probability of flooding is moderate to high or erosion control zone.
8. No such structure shall be within 60 metres of a public or private water source.
9. No such structure shall be situated, at the closest point, less than 50 metres from a water course or water body in the case of new farmyards, and not less than 10m in the case of extensions/modifications to an existing facility.
10. No unpainted metal sheeting shall be used for roofing or on the external finish of the structure
11. The use of this Class of exemption requires a declaration from the relevant Planning authority under section 5 of the Principal Act, declaring the exemption is applicable prior to commencement of construction.
12. Ancillary provision shall include as appropriate the installation of any signage, fencing or other safety infrastructure as recommended by the Health and Safety Authority regarding Slurry Safety.

Assessment :

General

The applicant has queried under Section 5 of the Planning and Development Act 2000 (as amended) whether the construction of 292sqm Agricultural Shed at Drummin, Co. Wicklow is or is not exempted development.

The details submitted identify that the agricultural structure of 6.2m in height, green insulated sheeting finish. The uses identified within the barn are storage, but also holding pen for sheep, feeding trough and lambing pens.

The site is located in an Area of Outstanding Natural Beauty, and off the Wicklow Way a public walking route. There is a protected view located along the local road i.e. L-1059-0.

The submission on file indicates that works are exempt having regard to the provisions of SI 649/2025.

Section 5 Query Assessment

The construction of an Agricultural Shed involves operations of construction and would therefore be works having regard to Section 2 of the Planning and Development Act 2000 (as amended).

These works would come within the definition of development as set out in Section 3(1)(a) of the Planning and Development Act 2000(as amended).

The relevant exemption for such a structure is set out under Class 6 : Part 3 ; Schedule 2 of the Planning and Development Regulations 2001(as amended) i.e.

Works consisting of the provision of a roofed structure for the housing of cattle, sheep, goats, donkeys, horses, deer or rabbits, having a gross floor space not exceeding 300 square metres (whether or not by extension of an existing structure), and any ancillary provision for effluent storage.

This exemption is restricted by a number of limitations, and the proposal is assessed having regard to same i.e.

1. No such structure shall be used for any purpose other than the purpose of agriculture.
Structure is for Agricultural purposes.
2. The gross floor space of such structure together with any other such structures situated within the same farmyard complex or within 100 metres of that complex shall not exceed 450 square metres gross floor space in aggregate.
Floor area is 292sqm , and therefore this limitation is met.
3. Effluent storage facilities adequate to serve the structure having regard to its size, use and location shall be constructed in line with Department of Agriculture, Food and Rural Development and Department of the Environment and Local Government requirements and shall have regard to the need to avoid water pollution.
No details have been submitted to confirm compliance with this Limitation.
4. No such structure shall be situated, and no effluent from such structure shall be stored, within 10 metres of any public road.
Located in excess of 10m from public road.
5. No such structure within 100 metres of any public road shall exceed 8 metres in height.
Structure is below 8m
6. No such structure shall be situated, and no effluent from such structure shall be stored, within 100 metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof.
Structure in excess of 100m from dwelling houses in the area

7. No such structure shall be constructed within a flood zone identified in statutory land use plans as Flood Zone A or Flood Zone B or where the probability of flooding is moderate to high or erosion control zone.

Not in flood zone.

8. No such structure shall be within 60 metres of a public or private water source.

From review of PRR 78/3253 which was for an extension to dwelling located adjoining the L-1059-0 , the supply for that dwelling is from a spring on lands to the northwest. It therefore cannot be confirmed that the structure would not be within 60m of a private water source.

9. No such structure shall be situated, at the closest point, less than 50 metres from a water course or water body in the case of new farmyards, and not less than 10m in the case of extensions/modifications to an existing facility.

There is no definition of "watercourse" under the Planning and Development Act 2000(as amended) or associated Regulations. S.I. 588 of 2025 – EU (Good Agricultural Practice for Protection of Waters) Regulations 2025 defines watercourse under Article 4 as

'watercourse' means any body of water that is marked on a modern 1:5,000 scale Tailte Éireann map, and any feature where water collects or flows permanently, but does not include a sewer;

From review of PRR 11/4505 and the submitted layout the structure will be located within c. 20m/ 30m of a land drain, which is considered to come within the definition of watercourse as identified above.

10. No unpainted metal sheeting shall be used for roofing or on the external finish of the structure
Finish to be green
11. The use of this Class of exemption requires a declaration from the relevant Planning authority under section 5 of the Principal Act, declaring the exemption is applicable prior to commencement of construction.
12. Ancillary provision shall include as appropriate the installation of any signage, fencing or other safety infrastructure as recommended by the Health and Safety Authority regarding Slurry Safety.

11/12 not relevant to this assessment .

The structure is located on lands which are identified as an Area of Outstanding Natural Beauty, off a public walking route the Wicklow Way, and there is a listed prospect from the L -1059. This issue arose under PRR 11/4505 , and the location identified in the Section 5 submitted was considered not to impact on listed views, and given nature of structure and location it is not considered it would impact on the character of the area.

(viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,

The shed is not located within or adjoining any Natura 2000 site. Existing ditches/ streams in the area would flow into the Avonmore River , and this river flows into the Wicklow Mountains SAC c. 6km downstream. Given the distance, and lack of direct connectivity it is considered that the construction of

the shed structure would not give rise to any negative impacts on any Natura 2000 site and therefore the need for a Stage 2 Appropriate Assessment can be ruled out.

In light of the above assessment the Agricultural Shed is development and is not exempted development.

Recommendation:

With respect to the query under Section 5 of the Planning and Development Act 2000(as amended), as to whether

The construction of 292sqm Agricultural Shed at Drummin Co. Wicklow constitutes exempted development within the meaning of the Planning and Development Acts, 2000(as amended).

The Planning Authority consider that the construction of 292sqm Agricultural Shed **is Development and is Not Exempted Development.**

Main Considerations with respect to Section 5 Declaration :

- a) The details submitted with the Section 5 Declaration, and site visit.
- c) Planning Permission Register Reference PRR 11/4505 , and PRR 78/3261
- d) Wicklow County Development Plan 2022-2028 ; Landscape Designation Area of Outstanding Natural Beauty; Listed Prospect 25.
- e) Sections 2 , 3 and 4 of the Planning and Development Act 2000 (as amended).
- f) Article 6, 9 Schedule 2, Part 3 , Class 6, of the Planning and Development Regulations 2001 (as amended).
- g) Definition of watercourse under EU (Good Agricultural Practice for Protection of Waters) Regulations 2025.

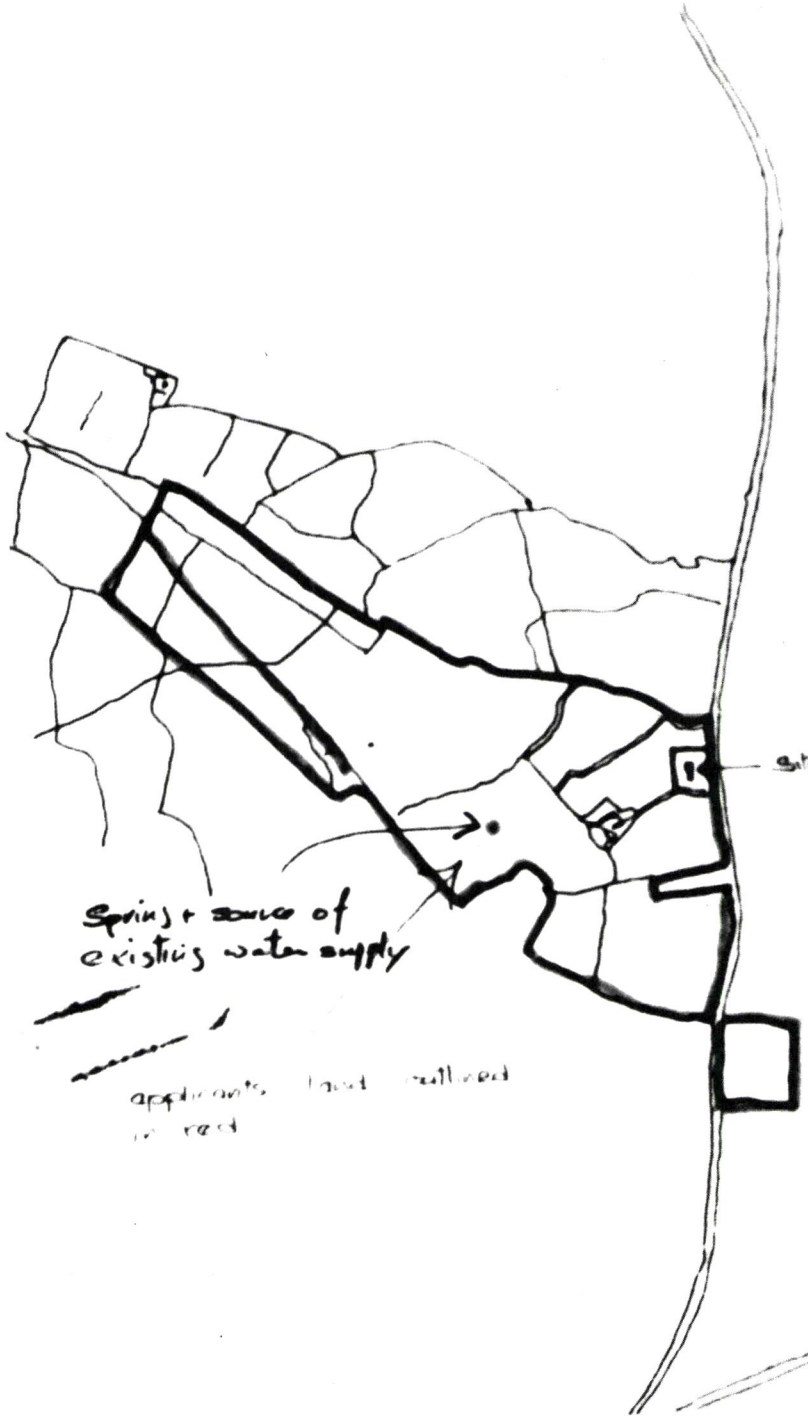
Main Reasons with respect to Section 5 Declaration :

- i. The construction of an Agricultural Shed involves operations of construction and would therefore be works having regard to Section 2 of the Planning and Development Act 2000 (as amended).
- ii. These works would come within the definition of development as set out in Section 3(1)(a) of the Planning and Development Act 2000(as amended).
- iii. The Agricultural Shed would come within the description set out in Class 6 : Part 3 ; Schedule 2 of the Planning and Development Regulations 2001(as amended), however it would not meet all the limitations thereunder as
 - (a) No details have been submitted to confirm compliance with Limitation No. 3
 - (b) It is not evident that Limitation No. 8 would be met, as from review of PRR 78/3253 there is a water supply from a spring on lands to the northwest of the proposed Agricultural Shed which serves an existing dwelling. It therefore cannot be confirmed that the structure would not be within 60m of a private water source.
 - (c) Limitation No. 9 would not be met as the structure would be located within 20-30m of a land drain which is considered to come within the definition of "watercourse"

under S.I. 588 of 2025 – EU (Good Agricultural Practice for Protection of Waters)
Regulations 2025.

Edel Dermot O'Connell

12/5/2026



SITE LOCATION MAP
Scale 6" to 1 mile

Spring + source of
existing water supply

applicant's land outlined
in red





**Comhairle Contae Chill Mhantáin
Wicklow County Council**

**Pleanáil, Forbairt Eacnamaíochta agus Tuaithe
Planning, Economic and Rural Development**

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MEMORANDUM

WICKLOW COUNTY COUNCIL

TO: Edel Bermingham **FROM: Nicola Fleming**
T/Senior Planner **Staff Officer**

**RE: - EX56/2026 - Declaration in accordance with Section 5 of the
Planning & Development Acts 2000 (as amended)**

I enclose herewith for your attention application for Section 5 Declaration received 20/04/2026.

The due date on this declaration is the 17/05/2026.



Staff Officer
Planning Development & Environment





Comhairle Contae Chill Mhantáin
Wicklow County Council

Pleanáil, Forbairt Eacnamaíochta agus Tuaithe
Planning, Economic and Rural Development

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Simon Martin

20th of April 2026

RE: Application for Certificate of Exemption under Section 5 of the Planning and Development Acts 2000 (as amended). – EX56/2026 for Drummin, Annamoe, Co. Wicklow

A Chara

I wish to acknowledge receipt on 20/04/2026 full details supplied by you in respect of the above Section 5 application. A decision is due in respect of this application by 17/05/2026.

Mise, le meas

Nicola Fleming
Staff Officer
Planning, Economic & Rural Development



Wicklow County Council
County Buildings
Wicklow
0404-20100

20/04/2026 09 48 42

Receipt No L11/0/362288

SIMON MARTIN
3 ST JOHNS PARK
DUN LAOGHAIRE
CO DUBLIN
A96D294

EXEMPTION CERTIFICATES	80 00
GOODS	80 00
VAT Exempt/Non-vatable	

Total 80 00 EUR

Tendered
Postal Order 80 00
DRUMMIN, ANNAMOE, CO WICKLOW

Change 0 00

Issued By Lea Anne Daniels
From Customer Service Hub
Vat reg No 0015233H

WICKLOW COUNTY COUNCIL
CUSTOMER SERVICE
20 APR 2026



Wicklow County Council
County Buildings
Wicklow
Co Wicklow
Telephone 0404 20148
Fax 0404 69462

Office Use Only

Date Received _____

Fee Received _____

WICKLOW COUNTY COUNCIL
20 APR 2026
PLANNING DEPT.

**APPLICATION FORM FOR A
DECLARATION IN ACCORDANCE WITH SECTION 5 OF THE PLANNING &
DEVELOPMENT ACTS 2000 (AS AMENDED) AS TO WHAT IS OR IS NOT
DEVELOPMENT OR IS OR IS NOT EXEMPTED DEVELOPMENT**

1. Applicant Details

(a) Name of applicant: SIMON MARTIN
Address of applicant: _____

Note Phone number and email to be filled in on separate page.

2. Agents Details (Where Applicable)

(b) Name of Agent (where applicable) _____
Address of Agent : _____

Note Phone number and email to be filled in on separate page.

3. Declaration Details

i. Location of Development subject of Declaration DRUMMIN,
ANNAMOE, CO WICKLOW

ii. Are you the owner and/or occupier of these lands at the location under i. above?
 Yes No.

iii. If 'No' to ii above, please supply the Name and Address of the Owner, and or occupier _____

iv. Section 5 of the Planning and Development Act provides that . If any question arises as to what, in any particular case, is or is not development and is or is not exempted development, within the meaning of this act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question. You should therefore set out the query for which you seek the Section 5 Declaration _____

EXEMPTION FROM REQUIRING PLANNING
PERMISSION FOR DEVELOPMENT OF NOT AGRICULTURAL
SHED UNDER SI 649/2025 PLANNING & DEVELOPMENT (EXEMPTED
DEVELOPMENT ACT 2000 (NO 2) REGULATIONS 2025
Additional details may be submitted by way of separate submission.

v. Indication of the Sections of the Planning and Development Act or Planning Regulations you consider relevant to the Declaration _____

SI NO 649/2025 PLANNING & DEVELOPMENT (EXEMPTED
DEVELOPMENT (ACT OF 2000) (NO 2) REGULATIONS 2025.


Additional details may be submitted by way of separate submission.

vi. Does the Declaration relate to a Protected Structure or is it within the curtilage of a Protected Structure (or proposed protected structure) ? NO

vii. List of Plans, Drawings submitted with this Declaration Application _____

COMPLETED APPLICATION FORM, COVER SHEET,
DRAWING FOR E80, SITE LAYOUT PLAN, SITE X SECTION,
SITE LOCATION MAP, INTERNAL SHED LAYOUT, BARN X SECTION,
DRAWINGS & PLANS (ELEVATIONS ROOF PLAN,)
AND ORDNANCE SURVEY MAP.

viii. Fee of € 80 Attached ? yes

Signed :  Dated : 10/4/26

Additional Notes :

As a guide the minimum information requirements for the most common types of referrals under Section 5 are listed below :

A. Extension to dwelling - Class i Part i of Schedule 2

- Site Location Map
- Floor area of structure in question - whether proposed or existing
- Floor area of all relevant structures e.g. previous extensions.
- Floor plans and elevations of relevant structures.
- Site Layout Plan showing distance to boundaries, rear garden area, adjoining dwellings/structures etc.

B. Land Reclamation -

The provisions of Article 8 of the Planning and Development Regulations 2001 (as amended) now applies to land reclamation, other than works to wetlands which are still

governed by Schedule 2, Part 3, Class 11. Note in addition to confirmation of exemption status under the Planning and Development Act 2000(as amended) there is a certification process with respect to land reclamation works as set out under the European Communities (Environmental Impact Assessment) (Agriculture) Regulations 2011 S.I. 456 of 2011. You should therefore seek advice from the Department of Agriculture, Fisheries and Food.

Any Section 5 Declaration should include a location map delineating the location of and exact area of lands to be reclaimed, and an indication of the character of the land.

C. Farm Structures - Class 6 -Class 10 Part 3 of Schedule 2.

- Site layout plan showing location of structure and any adjoining farm structures and any dwellings within 100m of the farm structure.
- Gross floor area of the farm structure
- Floor plan and elevational details of Farm Structure and Full details of the gross floor area of the proposed structure.
- Details of gross floor area of structures of similar type within the same farmyard complex or within 100metres of that complex.

SECTION 5 EXEMPTED PERMISSION UNDER SI 649/2025
CONSTRUCTION OF 292.00 SQ M BARN WITH HARD STAND
TO BARN AT DRUMMIN, ANNAMOE, CO. WICKLOW.
MR SIMON MARTIN

Surveyed 2000
Revised 2010
Levelled

Rural PLACE Map

LOCATION MAP

MAP REFERED TO WITHIN Extract from O.S. WICKLOW sheet 3902 Digital map

Site for application surrounded by RED Line
Area of land owned by applicant outlined in BLUE
This map is for identification purposes only and boundaries have not been checked against title documents.

AREA: 2.53 Acres
AREA 44.23 Acres

SCALE: 1 : 2500

Date April 2026

Drawing No SMMN/2-26

MAP SHEETS

Digital Map
3902

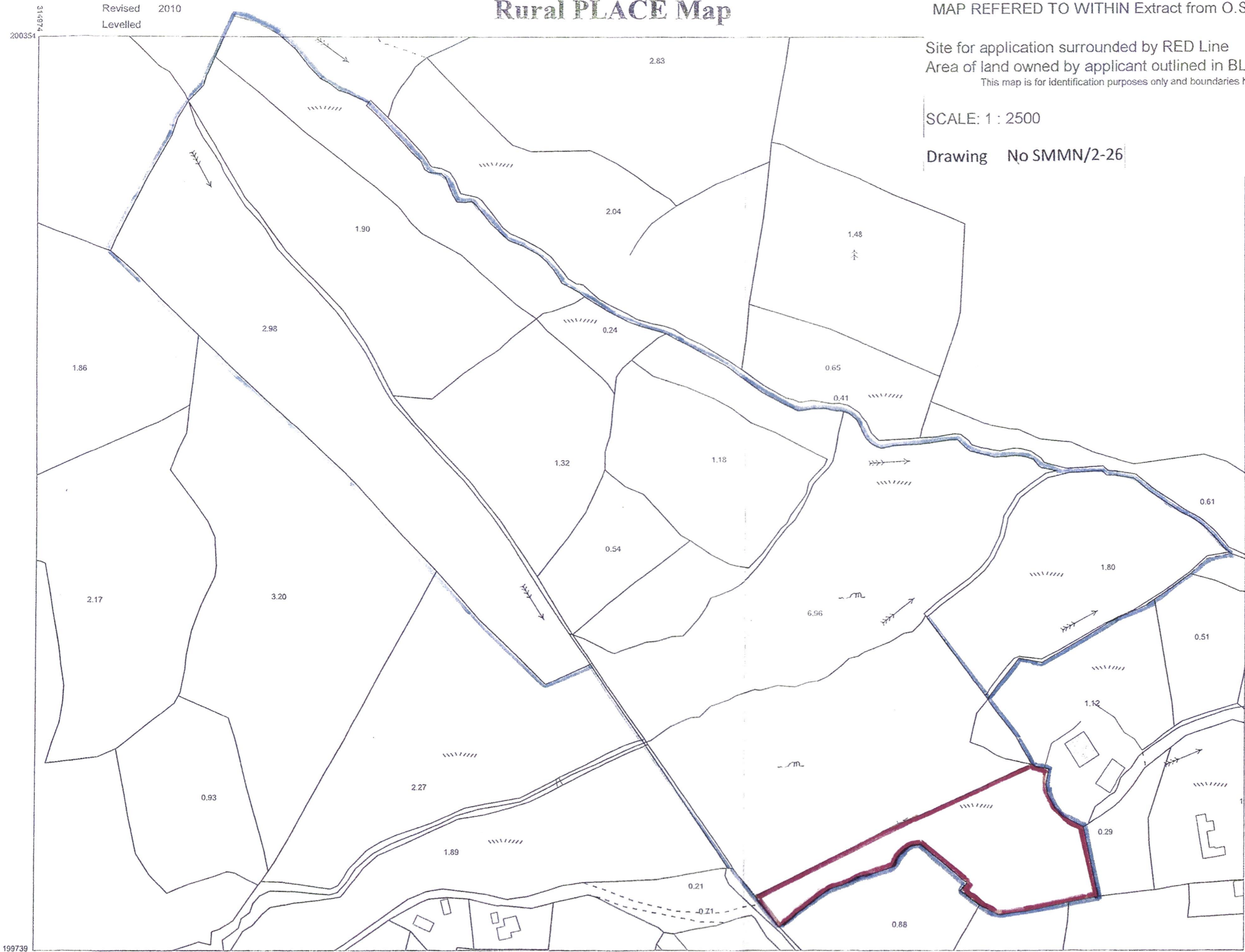


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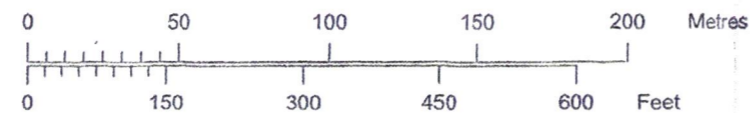
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Scale:- 1:2,500
Scála:- 1:2,500



Plot Ref. No. 25084924_1_2
Plot Date 21-JUN-2011

Record PLACE Map

MAP REFERED TO WITHIN Extract from O.S. WICKLOW Sheet WW017, WW018

Site for application surrounded by RED Line
Area of land owned by applicant outlined in Blue

AREA: 2.53 Acres
AREA 44.23 Acres

This map is for identification purposes only and boundaries have not been checked against title documents.

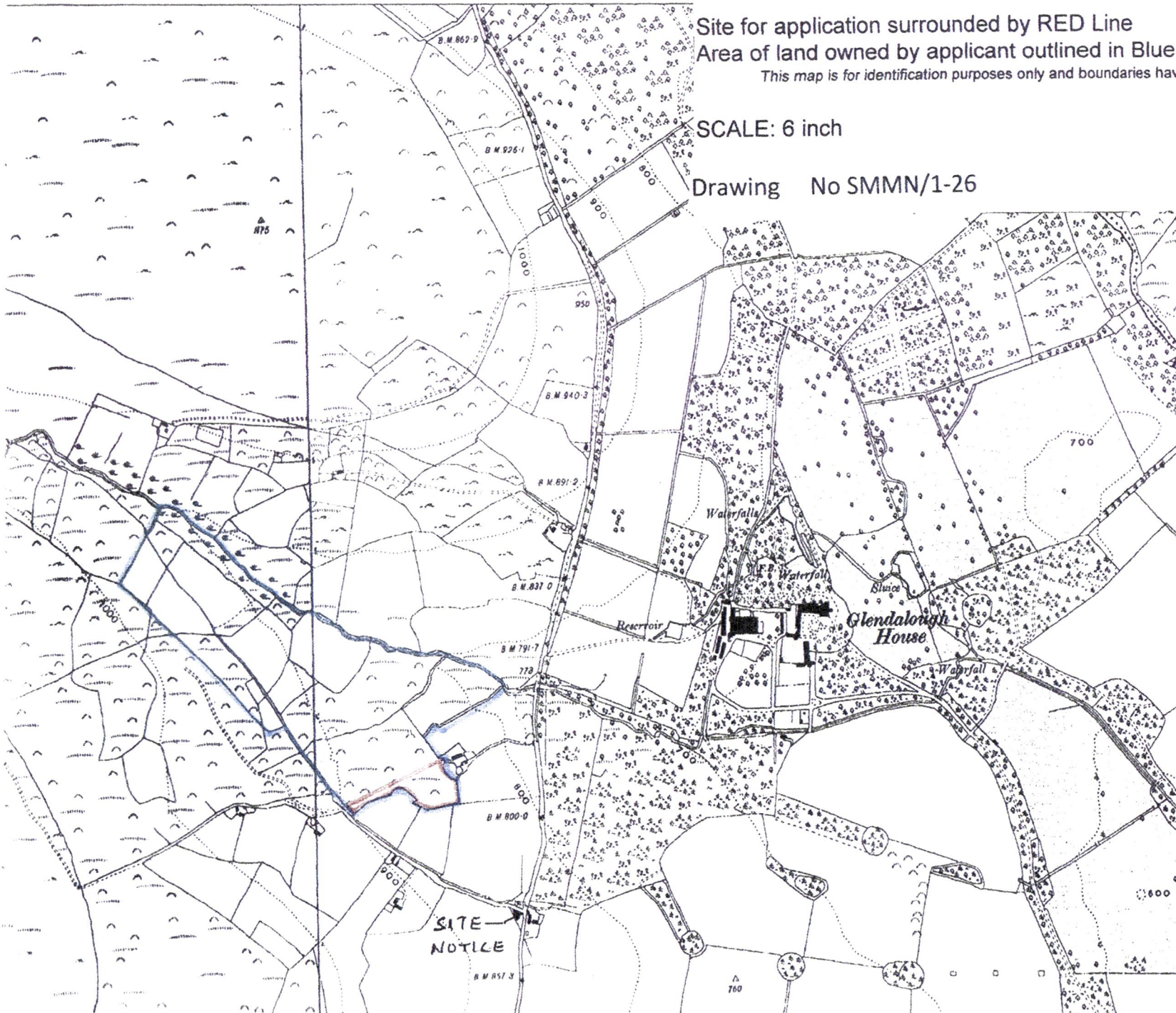
SCALE: 6 inch

Date April 2026

Drawing No SMMN/1-26

MAP SHEETS

6 inch
WW017 WW018

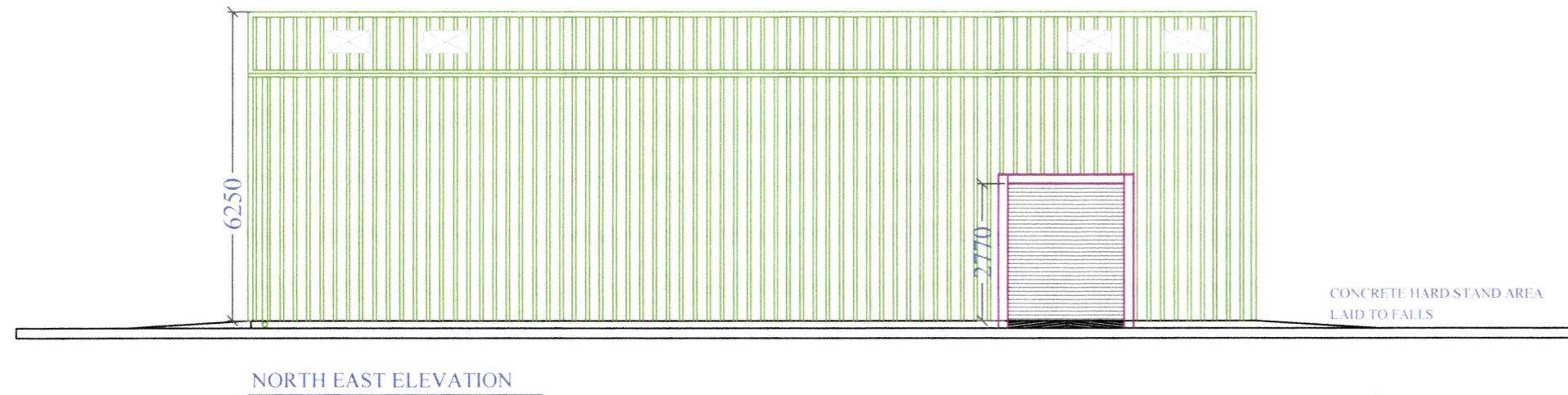
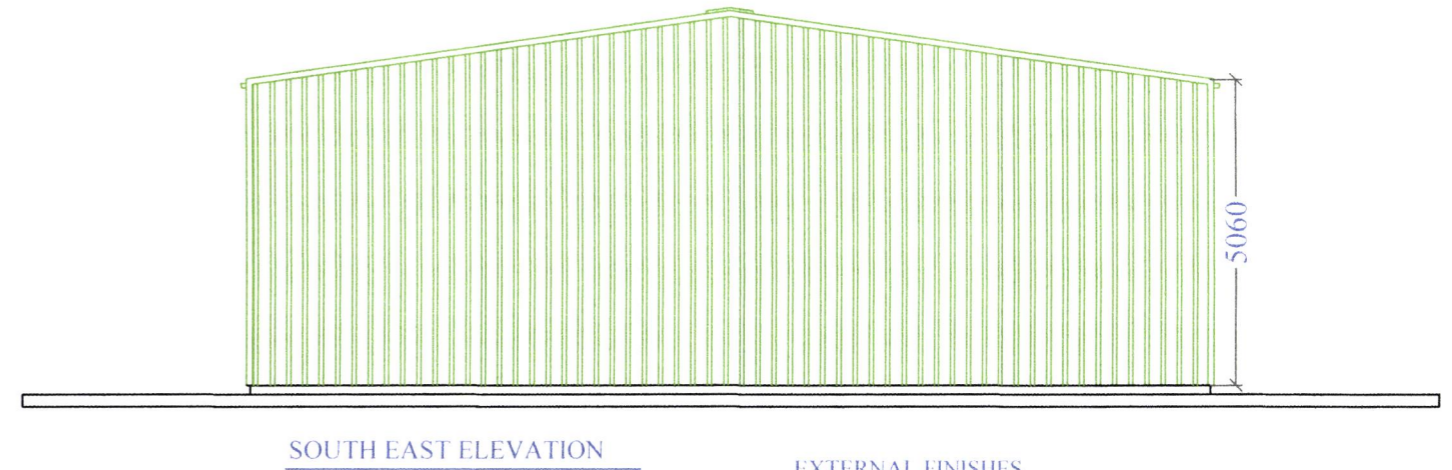
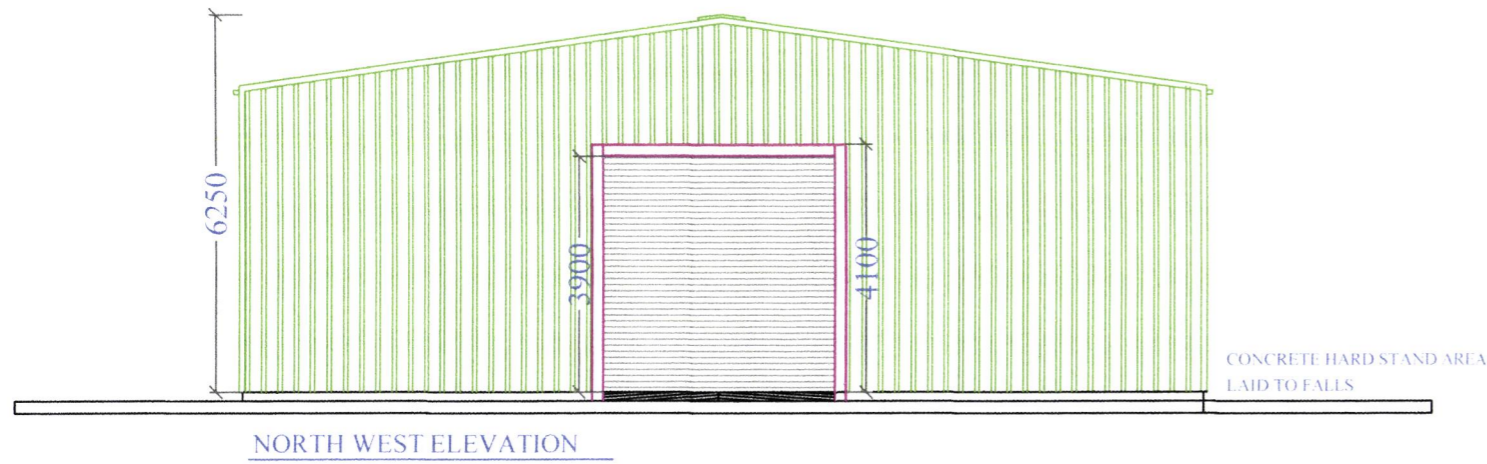
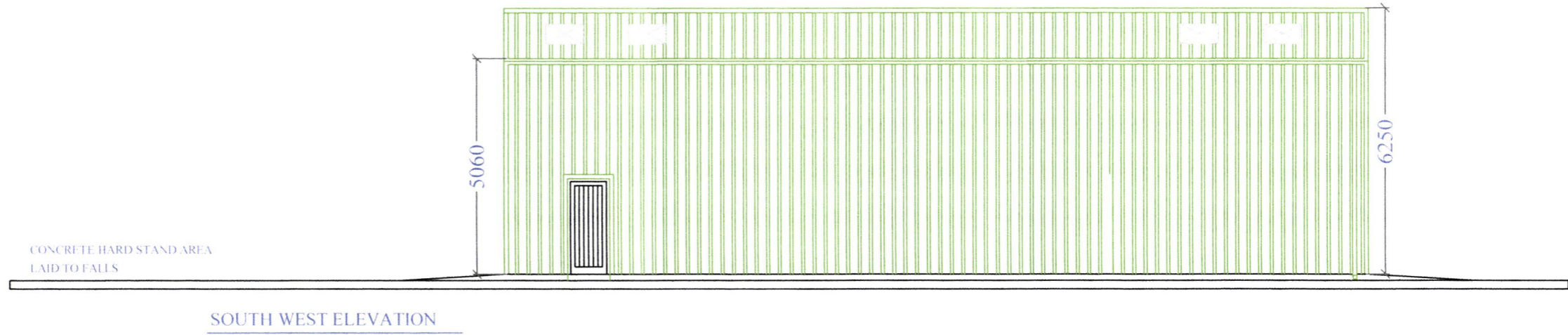


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EXTERNAL FINISHES

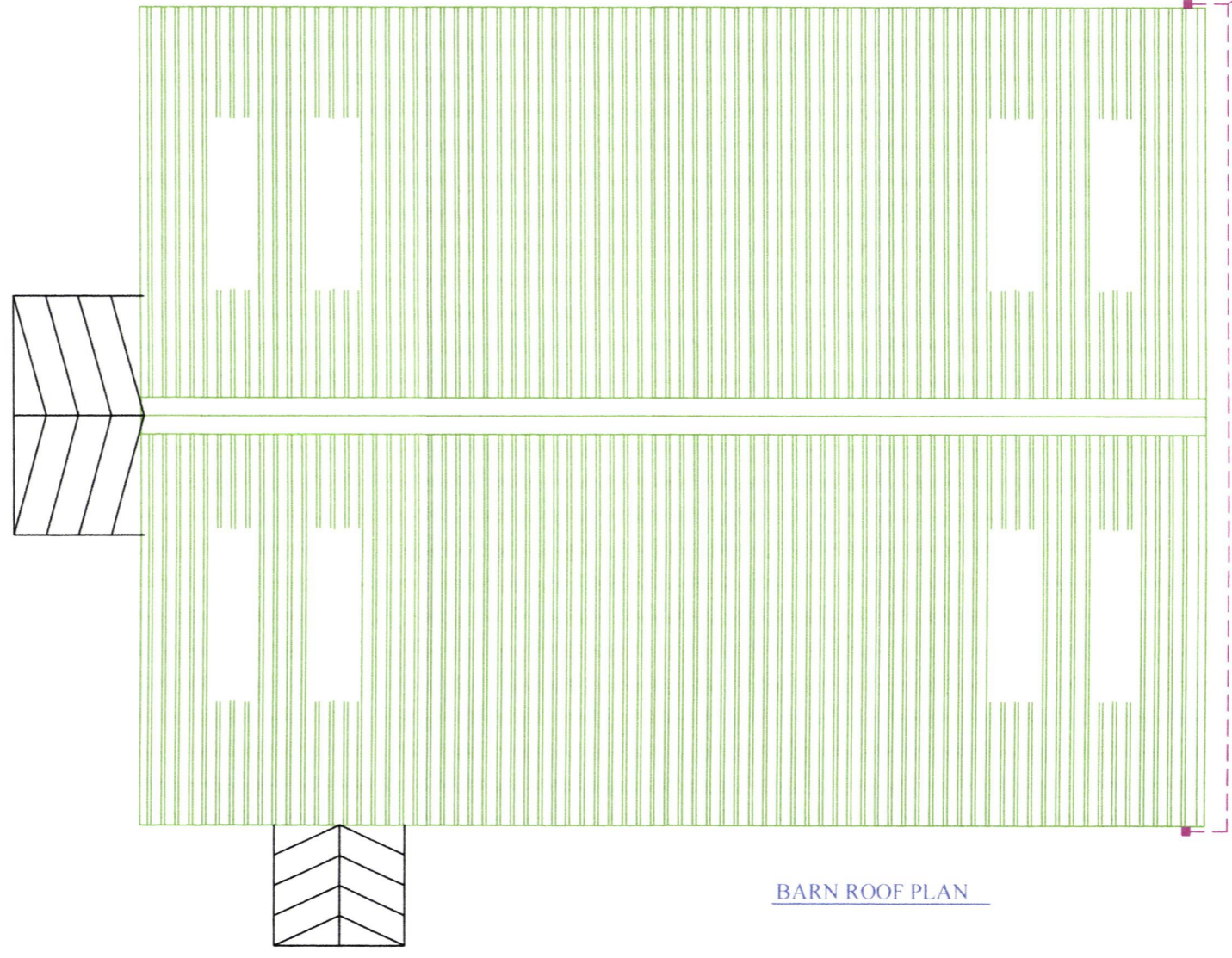
GREEN INSULATED PROFILE SHEETING AS SHOWN ON ELEVATIONS
 GREEN GUTTERS AND DOWNPIPES
 GREEN ROLLER SHUTTERS STEEL DOORS AS SHOWN ON ELEVATIONS
 STEEL DOOR TO ENTRANCE ON SOUTH WEST ELEVATION
 GALVANIZED STEEL UNIVERSAL BEAMS TO DOOR OPES ON NORTH EAST AND NORTH WEST ELEVATIONS
 TRANSLUCENT SHEETING AS SHOWN ON ROOF PLAN.

JOB TITLE SECTION 5 EXEMPTION PERMISSION UNDER SI NO: 649/2025 CONSTRUCTION OF 292.00 SQ M BARN WITH HARD STAND TO BARN AT DRUMMIN, ANNAMOE, CO. WICKLOW		JOE MC DONALD DRAUGHTING SERVICES EMOCLEW, DRUMKAY COURT, WICKLOW TOWN. PHONE/FAX 0404-69850 E-MAIL EMOCLEW@EIRCOM.NET	
CLIENT	MR SIMON MARTIN	DATE	APRIL 2026
DRAWING TITLE	BARN ELEVATIONS	SCALE	1 : 125
		DRAWN NO	SMMN/7-26
		CURRENT STAGE	PLANNING

JOB TITLE SECTION 5 EXEMPTION PERMISSSION UNDER SI NO: 649/2025 CONSTRUCTION OF 292.00 SQ M BARN WITH HARD STAND TO BARN AT DRUMMIN, ANNAMOE, CO. WICKLOW		JOE MC DONALD DRAUGHTING SERVICES EMOCLEW, DRUMKAY COURT, WICKLOW TOWN. PHONE/FAX 0404-69850 E-MAIL EMOCLEW@EIRCOM.NET	
CLIENT	MR SIMON MARTIN	DATE	APRIL 2026
DRAWING TITLE	BARN ROOF PLAN	SCALE	1 : 125
		DRAWN NO	SMMN/8-26
		CURRENT STAGE	PLANNING



SURFACE WATER TO EXISTING
LAND DRAIN AT BOUNDARY



BARN ROOF PLAN

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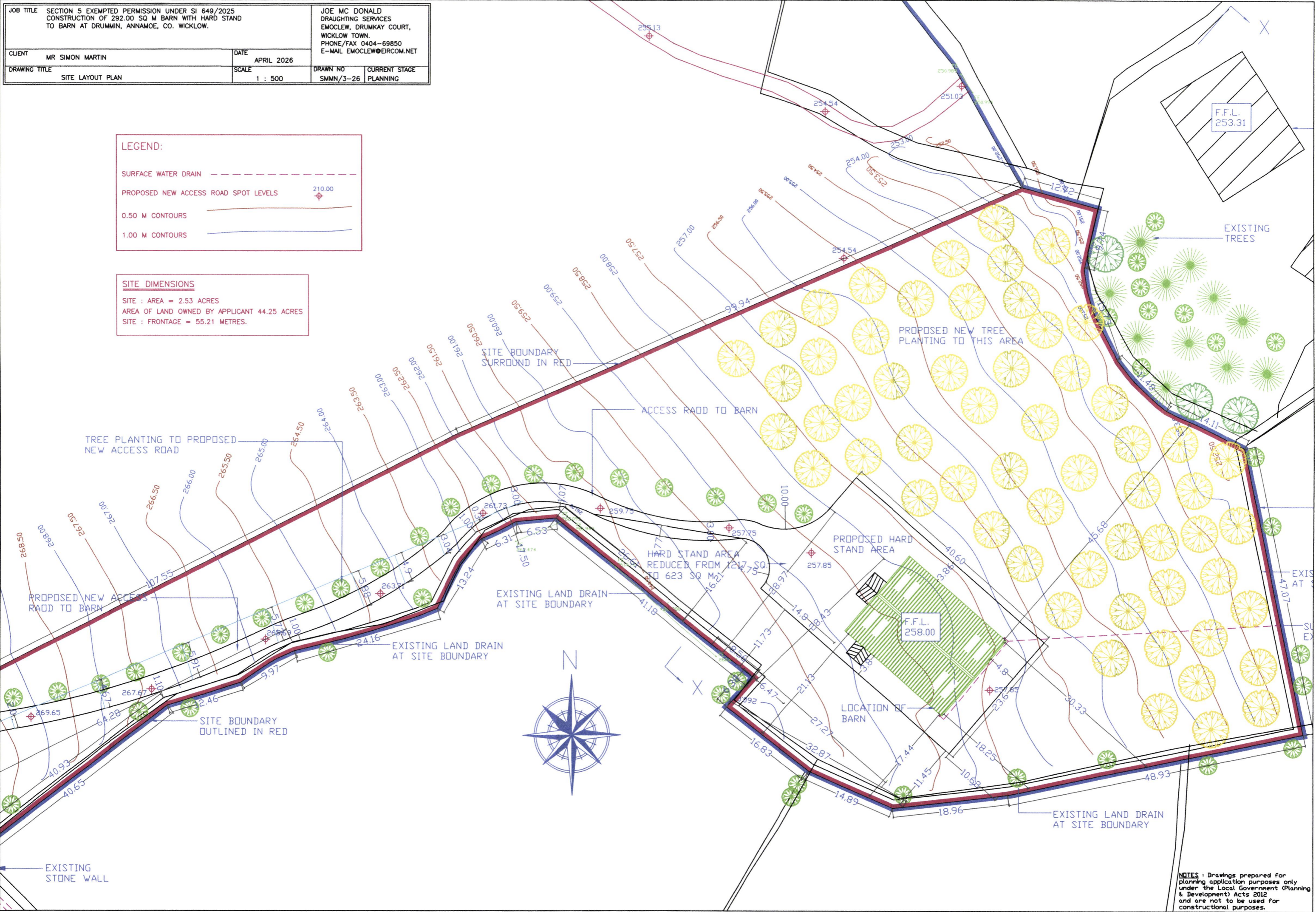
JOB TITLE SECTION 5 EXEMPTED PERMISSION UNDER SI 649/2025 CONSTRUCTION OF 292.00 SQ M BARN WITH HARD STAND TO BARN AT DRUMMIN, ANNAMOE, CO. WICKLOW.		JOE MC DONALD DRAUGHTING SERVICES EMOCLEW, DRUMKAY COURT, WICKLOW TOWN. PHONE/FAX 0404-69850 E-MAIL EMOCLEW@EIRCOM.NET	
CLIENT MR SIMON MARTIN	DATE APRIL 2026	DRAWN NO SMMN/3-26	CURRENT STAGE PLANNING
DRAWING TITLE SITE LAYOUT PLAN	SCALE 1 : 500		

LEGEND:

SURFACE WATER DRAIN	- - - - -
PROPOSED NEW ACCESS ROAD SPOT LEVELS	210.00
0.50 M CONTOURS	— (red line)
1.00 M CONTOURS	— (blue line)

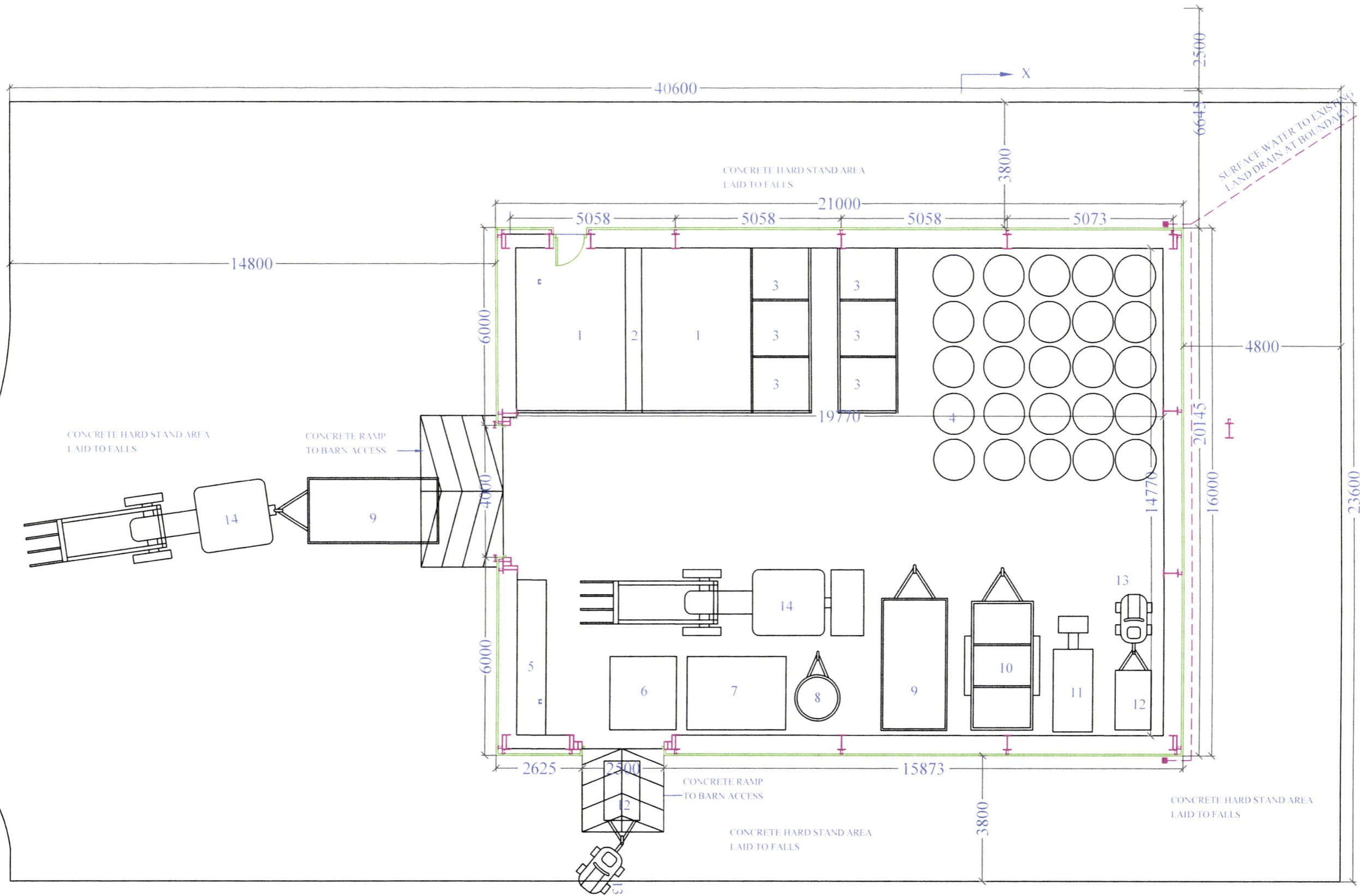
SITE DIMENSIONS

SITE : AREA = 2.53 ACRES
AREA OF LAND OWNED BY APPLICANT 44.25 ACRES
SITE : FRONTAGE = 55.21 METRES.



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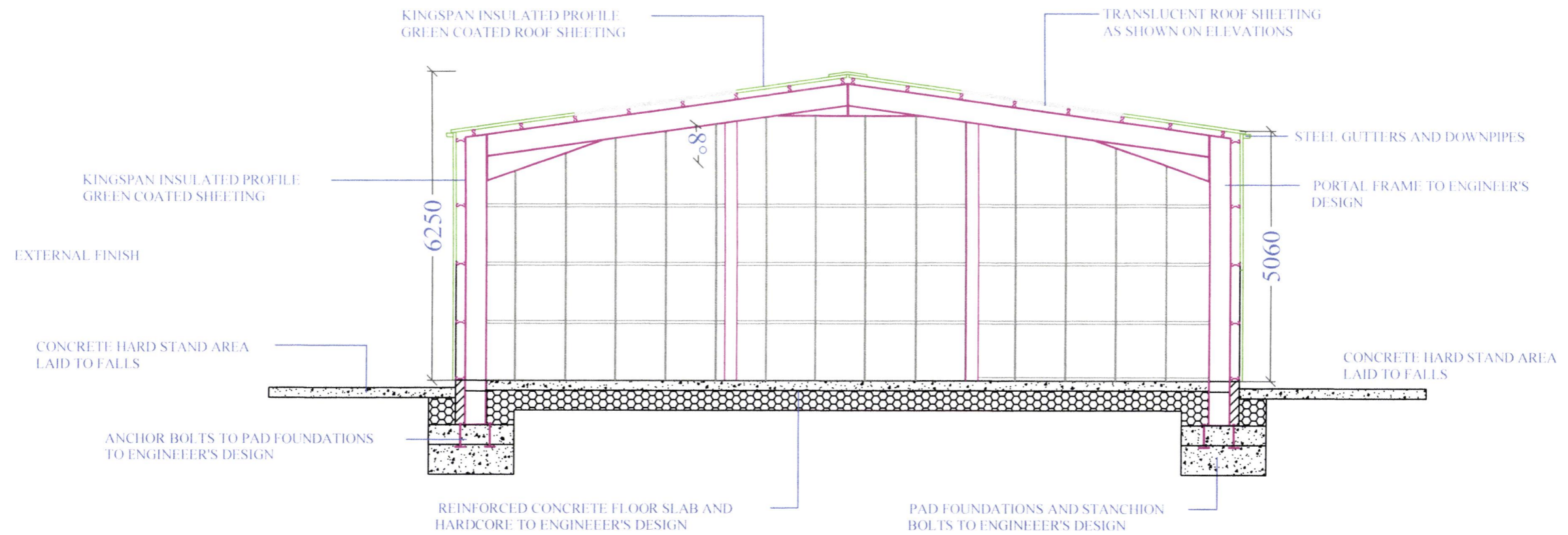
BARN LAYOUT PLAN
BARN FLOOR AREA 292.00 SQ M

BARN STORAGE LEGEND

- 1: HOLDING PEN
- 2: FEEDING TROUGH
- 3: LAMBING PENS
- 4: STRAW AND HAY STORAGE AREA
- 5: STORAGE SHELVING
- 6: FEEDS STORAGE AREA
- 7: FERTILIZER STORAGE AREA
- 8: FERTILIZER SPREADER
- 9: TRACTOR TRAILER
- 10: SHEEP TRANSPORTER COVERED TRAILER
- 11: TOPPER (FOR TRIMMING WEEDS)
- 12: QUAD TRAILER
- 13: QUAD
- 14: TRACTOR WITH BACK BUCKET AND FRONT LOADER

JOB TITLE SECTION 5 EXEMPTION PERMISSION UNDER SI NO: 649/2025 CONSTRUCTION OF 292.00 SQ M BARN WITH HARD STAND TO BARN AT DRUMMIN, ANNAMOE, CO. WICKLOW		JOE MC DONALD DRAUGHTING SERVICES EMOCLEW, DRUMKAY COURT, WICKLOW TOWN. PHONE/FAX 0404-69850 E-MAIL EMOCLEW@EIRCOM.NET	
CLIENT MR SIMON MARTIN	DATE APRIL 2026	DRAWN NO SMMN/5-26	CURRENT STAGE PLANNING
DRAWING TITLE BARN LAYOUT PLAN	SCALE 1 : 125		

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SECTION X : X

JOB TITLE SECTION 5 EXEMPTION PERMISSON UNDER SI NO: 649/2025 CONSTRUCTION OF 292.00 SQ M BARN WITH HARD STAND TO BARN AT DRUMMIN, ANNAMOE, CO. WICKLOW		JOE MC DONALD DRAUGHTING SERVICES EMOCLEW, DRUMKAY COURT, WICKLOW TOWN. PHONE/FAX 0404-69850 E-MAIL EMOCLEW@EIRCOM.NET	
CLIENT	MR SIMON MARTIN	DATE	APRIL 2026
DRAWING TITLE	BARN SECTION X: X	SCALE	1 : 100
		DRAWN NO	CURRENT STAGE
		SMMN/6-26	PLANNING

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DATUM 240.00

SITE SECTION X : X

JOB TITLE		SECTION 5 EXEMPTED PERMISSION UNDER SI NO 649/2025 CONSTRUCTION OF 292.00 SQ M BARN WITH HARD STAND TO BARN AT DRUMMIN, ANNAMOE, CO. WICKLOW		JOE MC DONALD DRAUGHTING SERVICES EMOCLEW, DRUMKAY COURT, WICKLOW TOWN. PHONE/FAX 0404-69850 E-MAIL EMOCLEW@EIRCOM.NET	
CLIENT	MR SIMON MARTIN	DATE	APRIL 2026	DRAWN NO	SMMN/4-26
DRAWING TITLE	SITE SECTION X : X	SCALE	1 : 400	CURRENT STAGE	PLANNING